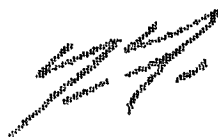
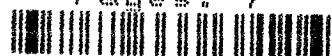


Document Number

**STORMWATER FACILITY  
MAINTENANCE AGREEMENT**



TYSON FETTES  
RACINE COUNTY  
REGISTER OF DEEDS  
Fee Amount: \$30.00  
Pages: 7  


**LEGAL DESCRIPTION AND TAX KEY NUMBERS**

The Redivision of Lots 1-16 and part of Lot 17, and Vacated Theophane Avenue and Valerian Avenue in St. Bonaventure East, a Recorded Subdivision and part of the Northeast 1/4 and Southeast 1/4 of the Northeast 1/4 of Section 21, Township 3 North, Range 22 East, in the Village of Sturtevant, Racine County, Wisconsin.

**FROM ALL OF** 181-03-22-21-001-100; 181-03-22-21-516-010; 181-03-22-21-500-000; 181-03-22-21-501-000; 181-03-22-21-502-000; 181-03-22-21-503-000; 181-03-22-21-504-000; 181-03-22-21-505-000; 181-03-22-21-506-000; 181-03-22-21-507-000; 181-03-22-21-508-000; 181-03-22-21-509-000; 181-03-22-21-510-000; 181-03-22-21-511-000; 181-03-22-21-512-000; 181-03-22-21-513-000; 181-03-22-21-514-000; 181-03-22-21-515-000

Recording Area

Name and Return Address

TNG 8, LLC  
8338 Corporate Drive, Ste. 300  
Racine, WI 53406

30-7

Parcel Identification Number (PIN)

**NEW TAX KEY NUMBERS:**

- Lot 18                    181-03-22-21-518-000
- Lot 19                    181-03-22-21-519-000
- Lot 20                    181-03-22-21-520-000
- Lot 21                    181-03-22-21-521-000
- Lot 22                    181-03-22-21-522-000
- Lot 23                    181-03-22-21-523-000
- Lot 24                    181-03-22-21-524-000
- Lot 25                    181-03-22-21-525-000
- Lot 26                    181-03-22-21-526-000
- Lot 27                    181-03-22-21-527-000
- Lot 28                    181-03-22-21-528-000
- Lot 29                    181-03-22-21-529-000
- Lot 30                    181-03-22-21-530-000
- Lot 31                    181-03-22-21-531-000
- Lot 32                    181-03-22-21-532-000
- Lot 33                    181-03-22-21-533-000
- Lot 34                    181-03-22-21-534-000
- Lot 35                    181-03-22-21-535-000

Outlot 1                    Each individual owner shall have an undividable fractional ownership of the Outlot

## **STORM WATER FACILITY MAINTENANCE AGREEMENT**

### **Site Name**

St. Bonaventure East – First Addition

### **Property Legal Description**

Outlot 1 of the St. Bonaventure East – First Addition Subdivision

### **Responsible Party**

TNG8, LLC, Owner, is responsible for satisfying the provisions of this agreement throughout the duration of the construction period. Upon completion of all construction phases, the St. Bonaventure East First Addition Homeowners' Association shall maintain responsibility.

### **Storm Water Management Facilities**

The storm water management facility consists of a storm water retention basin. See Site Grading & Erosion Control Plan.

### **Inspection and Maintenance**

To ensure the proper long-term function of the storm water management facilities listed above, the following inspection and maintenance must be completed. The person responsible for the inspection shall have a copy of the as-built plans and Maintenance Inspection Form.

#### **I. Post storm event inspection:**

Inspect the following every spring and fall and after every significant storm event:

1. **Debris cleanup:** The facilities shall be inspected and all debris shall be collected and disposed of appropriately. Debris and litter shall be removed from the primary and emergency outlet structures to prevent clogging. The goal of this cleanup process is to remove all materials that may contribute to clogging and thus reduce functionality of the detention and infiltration systems.
2. **Erosion repair and sediment removal:** Eroded areas shall be promptly repaired using low-impact earth moving techniques commensurate with the scale of the repair task. Any bare soil areas shall be re-vegetated according to the original design specifications.

#### **II. Annual Inspection:**

Inspect the following in spring:

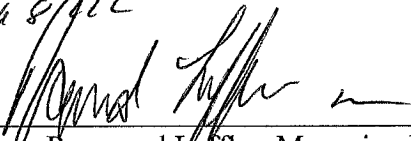
1. **General Inspection:** Inspect retention pond for settling, cracking, erosion, leakage, and condition of outlet structure. Make repairs as necessary.

**III. Every Third Year**

1. Exotic and noxious weed management: Plantings in storm water facilities shall be surveyed for exotic and noxious weed growths. This survey must be conducted by a qualified individual, knowledgeable in horticulture and the recognition of wetlands vegetation. If noxious or exotic weed growths are present, they shall be eliminated using appropriate methods, and the area shall be re-vegetated according to the original site specifications, if necessary.
2. Check Stormwater Retention Basin Sediment Level: Sediment level in the retention basin shall be checked. Sediment must be removed when the depth of the permanent pool is less than 3.0 feet.

**Proof of Responsibility**

The undersigning Owner agrees to be the responsible for the maintenance, inspection, and proper function of the Storm Water Management Facilities. The St. Bonaventure East First Addition Homeowners' Association, agrees to provide adequate annual funding for the proper function and maintenance of the subject property Storm Water Management Facilities.

TNA 8/11  


\_\_\_\_\_  
Name - Raymond Jeffer, Managing Member

1-16-18  
\_\_\_\_\_  
Date

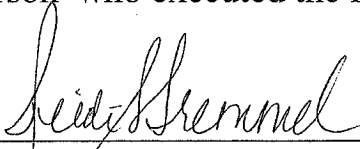
\_\_\_\_\_  
(262) 898-7777  
Phone Contact #

ACKNOWLEDGMENT

State of Wisconsin )

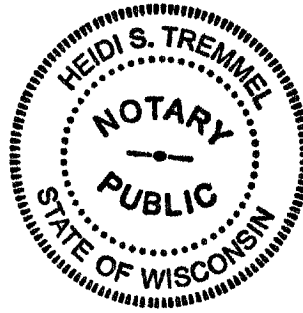
County of Racine )

Personally came before me this 16th day of January, 2018, the above named Raymond C. Leffler, Sole Member of TNG 8, LLC, to me known to be the person who executed the foregoing instrument and acknowledge the same.



\_\_\_\_\_  
\*Heidi S. Tremmel

Notary Public, Racine County, Wisconsin  
My Commission Expires 2/7/22



Return to:

Raymond C. Leffler, Member  
TNG 8, LLC  
8338 Corporate Drive, Ste. 300  
Mt. Pleasant, WI 53406

## WET- RETENTION BASIN MAINTENANCE STANDARDS

St. Bonaventure East – First Addition, Village of Sturtevant, Racine County, WI

Maintenance Component	Defect	Conditions When Maintenance is Needed	Results Expected When Maintenance Is Performed
General Site Conditions	Greenspace	Any evidence of erosion or vegetation in poor condition.	Vegetation replanted or erosion control installed.
	Curb & Gutter	Condition of curb & gutter or debris shall not impede proper drainage.	Curb & gutter shall provide proper drainage.
	Catch Basins	Any accumulated sediment or debris.	Structures shall be clean of all sediment and debris.
	Storm Sewer	Any condition causing erosion or that prevents proper functioning of the system.	Storm sewer system shall be repaired as necessary to function as designed.
	Gutters / Downspouts	Any accumulated sediment or debris.	Gutters & downspouts shall be clean and free flowing.
Side Slopes and Embankments	Trash & Debris	Any visual evidence of dumping, trash or debris.	Trash and debris cleared from site.
	Vegetation	Insert conditions from approved Operation and Maintenance Plant. Cut vegetation should be removed from areas where it could enter the pond, either when the pond level rises or by rainfall runoff.	When cutting is needed, grass/ground cover should be mowed to 6 inches in height. Trees and bushes should be removed where they interfere with pond maintenance activities; e.g., at the inlet, outlet and near engineered structures.
	Rodent Holes	Any evidence of rodent holes or water piping through dam or berm.	Rodents destroyed and dam or berm repaired.
	Tree Growth	Tree growth does not allow maintenance access or interferes with maintenance activity (i.e. slope mowing, silt removal or equipment movements).	Trees do not hinder maintenance activities.
	Erosion	Eroded damage where cause of damage is still present or where there is potential for continued erosion.	Slopes should be stabilized by using appropriate erosion control measures; e.g., rip-rap, vegetation, erosion mat, compaction.
Inlet/Outlet Pipe	Debris and Sediment	Sediment or debris clogging the pipe opening.	No clogging or blockage in the inlet and outlet piping.
	Damaged	Rust is causing more than 50% deterioration to any part of metal pipes, cracks in plastic pipe or cracks or exposed rebar in concrete pipes.	Pipe repaired or replaced.
		Any dent that decreases the cross-section area of pipe by more than 10% or impedes flow.	Pipe repaired or replaced.
	Erosion/Scouring	Eroded or scoured bottom at inlet or outlet pipes; undermining of structure or end section.	Area should be stabilized by using appropriately sized rock rip-rap.
	Damaged or Missing Orifice Plate	Control device is not working properly due to missing, out of place, or bent orifice plate.	Plate is in place and works as designed.
	Orifice Plate Obstructions	Any trash, debris, sediment or vegetation blocking the plate.	Plate is free of all obstructions and works as designed.
Trash Racks/Hoods	Trash and Debris	Trash or debris plugging the barrier openings.	Barrier clear to receive capacity flow.
	Damaged/Missing Bars or Hood	Bars or hood are bent out of shape.	Bars in place with no bends more than ¼ inch.
		Bars are missing or entire barrier missing.	Bars in place according to design.
	Bars are loose and rust is causing 50% deterioration to any part of barrier.	Repair or replace barrier to design standards.	
Pool Area	Sediment Accumulation in Pond Bottom	Sediment accumulations in pond bottom that exceeds the design sediment depth.	Sediment cleaned out to designed pond shape and depth; pond restored.
	Water Level	Water level does not drain down to normal pool elevation.	Check outlet structure and downstream conveyance systems for obstructions.
	Oil Sheen on Water	Prevalent and visible oil sheen.	Remove oil from water by use of oil-absorbent pads or by vacator truck. Identify source of problem and correct.
Overflow Spillway	Settlements	Any part of these components that has settled 3-inches lower than the design elevation, or inspector determines embankment is unsound.	Embankment should be reconstructed to original design and specifications.
	Rock Missing	Only one layer of rock exists above native soil in area five square feet or larger, or any exposure of native soil at the top emergency spillway.	Replace rocks to design standards.

**OPERATION AND MAINTENANCE INSPECTION REPORT  
FOR  
STORM WATER MANAGEMENT FACILITY**  
St. Bonaventure East – First Addition, Village of Sturtevant, Racine County, WI

Inspector Name: \_\_\_\_\_

Tax Key No.: 181-03-22-21-001-100

Inspection Date: \_\_\_\_\_

Location: Outlot 1 St. Bonaventure East First Addition

Stormwater Basin Type: Wet Retention Basin

Owner/Responsible Party: St. Bonaventure East First Addition  
Homeowners' Association

Items Inspected (Retention Basin Components)	Checked (Yes/No/NA)	Maintenance Needed (Yes/No/NA)	Remarks
<b>General Site Conditions</b>			
1. Greenspace			
2. Curb & Gutter			
3. Catch Basins			
4. Storm Sewers			
5. Gutters/Downspouts			
<b>Embankment and Emergency spillway</b>			
1. Trash and debris			
2. Vegetation and ground cover adequate			
3. Embankment erosion			
4. Animal burrows			
5. Unauthorized plantings/tree growth			
6. Cracking, bulging or sliding of embankment			
a. Upstream face and toe of slope			
b. Downstream face and toe of slope			
7. Settlement			
8. Seeps/leaks on downstream face			
9. Overflow spillway			
a. Clear of trash and debris			
b. Settlement			
c. Slope protection or riprap failures			
10. Other (specify)			
<b>Inlet/Outlet Structures</b>			
Type: Pipe (RCP/CMP/Plastic)			
Stand pipe/inlet box with office			
Weir (V-notch/Rectangular)			
Other			
1. Erosion/scouring/undermining at inlet or outlet			
2. Primary outlet structure			
a. Debris or sediment removal necessary			
b. Damaged			
c. Orifice plate damaged, out of place or missing			
3. Trash rack/hood maintenance			
a. Trash or debris removal necessary			
b. Damaged or missing			
c. Corrosion/rust control			
<b>Basin Bottom / Pool Area</b>			
1. Sediment accumulation (estimate depth)			
2. Water level at normal pool elevation			
3. Oil sheen on water			

