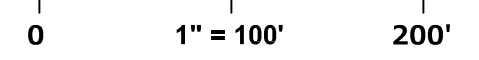


REPLAT OF BRISTOL BAY

A redivision of all of Lot 3, Outlot 1 and Outlot 2 of Bristol Bay and part of Lot 2 of Bristol Bay and additional lands all in the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Northwest 1/4 Section 8, Township 1 North, Range 21 East, Village of Bristol, Kenosha County, Wisconsin

GRAPHICAL SCALE (FEET)



Bearings referenced to the Subdivision Plat of Bristol Bay. The north line of the Northwest 1/4 of Section 8, Township 1 North, Range 21 East bears N89°18'32"E.

www.pinnacle-engr.com

Prepared for:
Bear Homes, LLC
4015 80th Street, Suite F
Kenosha, WI 53142

Prepared by:
PINNACLE ENGINEERING GROUP
15850 BLUEMOUND ROAD | SUITE 210
BROOKFIELD, WI 53005
OFFICE: (262) 754-8888

NW CORNER, NW 1/4
SEC. 8, T1N, R21E
(CONC. MON. W/ BRASS CAP)
N: 213,222.48, E: 2,525,156.19
(WISCONSIN STATE PLANE CO-
ORDINATE SYSTEM, SOUTH ZONE, NAD 27)

75TH STREET - STATE TRUNK HIGHWAY "50"
(VARIABLE R.O.W.)

NE CORNER, NW 1/4
SEC. 8, T1N, R21E
(CONC. MON. W/ BRASS CAP)

NATURAL RESOURCE PROTECTION EASEMENT NOTES AND RESTRICTIONS:

- Natural Resource Protection Easement located on Lots 1, 2, 3, 5, 30, 31, Outlot 1 and Outlot 3.
- Wetland delineation by Excel Engineering on October 5, 2015 on Lot 3, Lot 2 and Outlot 2, Bristol Bay. Wetlands located on Outlot 1, Bristol Bay per the subdivision plat of Bristol Bay.
- For wetlands existing on Lot 1, 2, 3, 5, 30, 31 and Outlot 3 - see Wetland Line Table on Sheet 4.
- Grading and filling are prohibited, unless specifically authorized by the municipality in which this land is located and, if applicable, the Wisconsin Department of Natural Resources and the Army Corps of Engineers.
 - The removal or destruction of any vegetative cover, i.e., trees, shrubs, grasses, etc., is prohibited, with the exception that dead, diseased or dying vegetation may be removed, at the discretion of the landowner, upon the recommendation of a forester or naturalist, shall be permitted.
 - Grazing by domesticated animals, i.e., horses, cows, etc., is prohibited.
 - The introduction of plant material not indigenous to the existing environment of the Wetland area is prohibited.
 - Ponds may be permitted subject to the approval of the municipality in which they are located and, if applicable, the Wisconsin Department of Natural Resources and the Army Corps of Engineers.
 - The construction of buildings is prohibited.

TREE PRESERVATION EASEMENT:

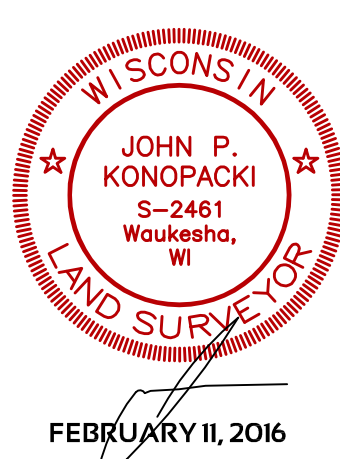
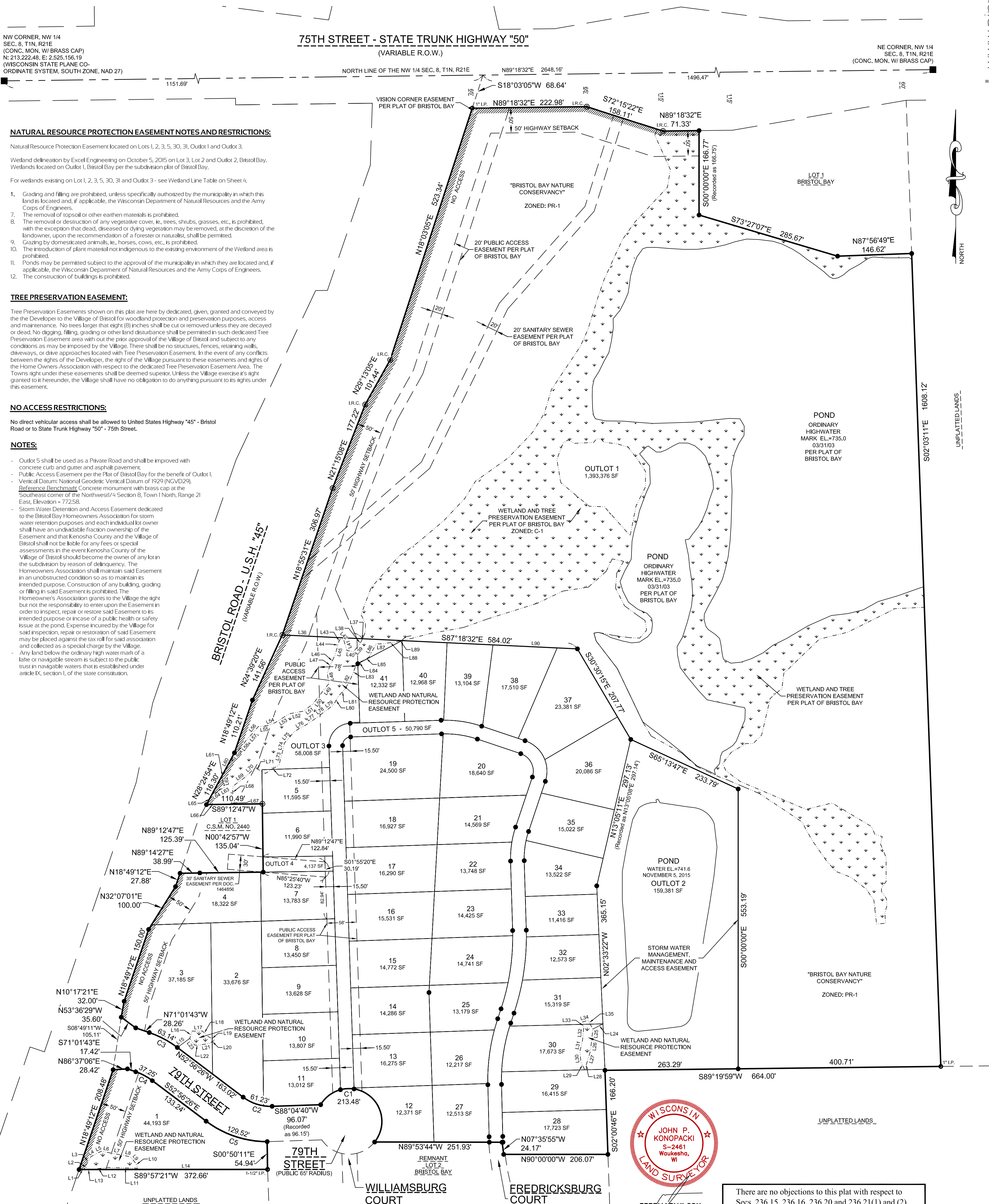
Tree Preservation Easements shown on this plat are here by dedicated, given, granted and conveyed by the Developer to the Village of Bristol for woodland protection and preservation purposes, access and maintenance. No trees larger than eight (8) inches shall be cut or removed unless they are decayed or dead. No digging, filling, grading or other land disturbance shall be permitted in such dedicated Tree Preservation Easement area with out the prior approval of the Village of Bristol and subject to any conditions as may be imposed by the Village. There shall be no structures, fences, retaining walls, driveways, or drive approaches located within Tree Preservation Easement. In the event of any conflicts between the rights of the Developer, the right of the Village pursuant to these easements and rights of the Home Owners Association with respect to the dedicated Tree Preservation Easement Area. The Towns right under these easements shall be deemed superior. Unless the Village exercise its right granted to it hereunder, the Village shall have no obligation to do anything pursuant to its rights under this easement.

NO ACCESS RESTRICTIONS:

No direct vehicular access shall be allowed to United States Highway "45" - Bristol Road or to State Trunk Highway "50" - 75th Street.

NOTES:

- Outlot 5 shall be used as a Private Road and shall be improved with concrete curb and gutter and asphalt pavement.
- Public Access Easement per the Plat of Bristol Bay for the benefit of Outlot 1.
- Vertical Datum: National Geodetic Vertical Datum of 1929 (NGVD29).
- Reference Benchmark: Concrete monument with brass cap at the Southeast corner of the Northwest 1/4 Section 8, Town 1 North, Range 21 East, Elevation = 772.58.
- Storm Water Detention and Access Easement dedicated to the Bristol Bay Homeowners Association for storm water retention purposes and each individual lot owner shall have an undividable fraction ownership of the Easement and that Kenosha County and the Village of Bristol shall not be liable for any fees or special assessments in the event Kenosha County of the Village of Bristol should become the owner of any lot in the subdivision by reason of delinquency. The Homeowners Association shall maintain said Easement in an unobstructed condition so as to maintain its intended purpose. Construction of any building, grading or filling in said Easement is prohibited. The Homeowner's Association grants to the Village the right but not the responsibility to enter upon the Easement in order to inspect, repair or restore said Easement to its intended purpose or in case of a public health or safety issue at the pond. Expense incurred by the Village for said inspection, repair or restoration of said Easement may be placed against the tax roll for said association and collected as a special charge by the Village.
- Any land below the ordinary high water mark of a lake or navigable stream is subject to the public trust or navigable waters that is established under article IX, section 1, of the State Constitution.



There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20____

Department of Administration

Notes:
- All measurements have been made to the nearest one-hundredth of a foot.
- All angular measurements have been made to the nearest one second.

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

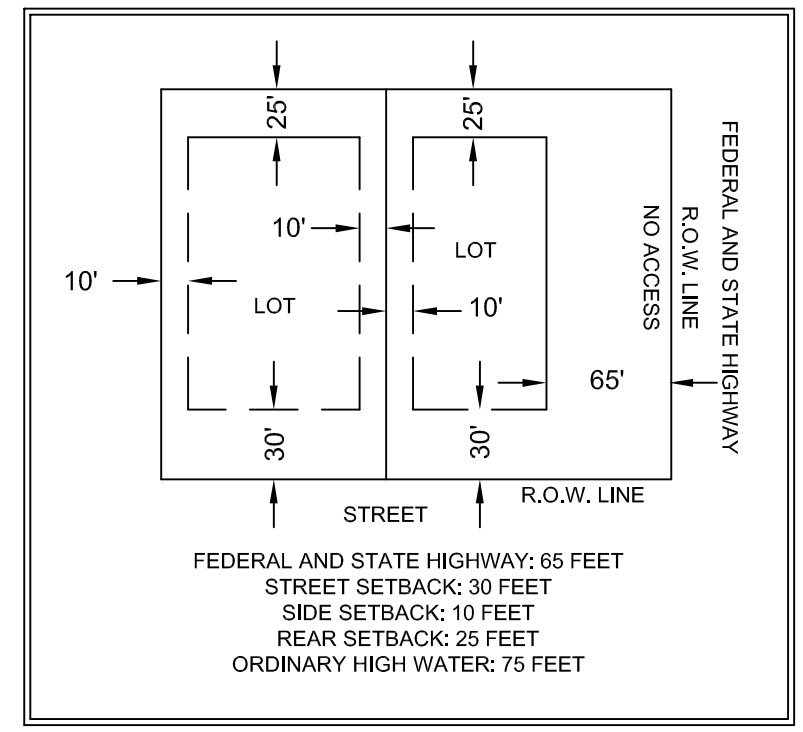
PINNACLE ENGINEERING GROUP

LEGEND:
- Denotes Found Iron Pipe (I.P.), outside diameter size indicated on plat.
- Denotes Found 1/2" Iron Rebar (I.R.), capped indicated on plat (C).
- Denotes Set 1/4" x 18" Iron Rebar, 430 LBS./FT.
- All other Lot and Outlot corners monumented by 3/4" x 18" Iron Rebar with a minimum weight of 15 LBS./FT.
SF - Denotes lot areas to the nearest square foot.

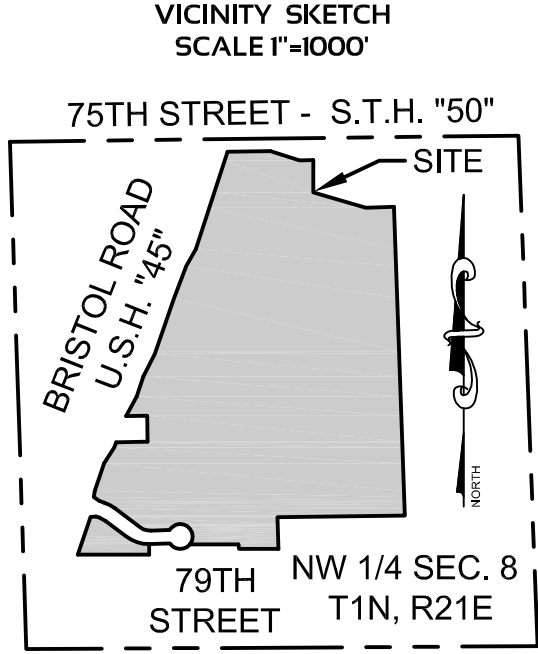
REPLAT OF BRISTOL BAY

A redivision of all of Lot 3, Outlot 1 and Outlot 2 of Bristol Bay and part of Lot 2 of Bristol Bay and additional lands all in the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Northwest 1/4 Section 8, Township 1 North, Range 21 East, Village of Bristol, Kenosha County, Wisconsin

R-5 URBAN SINGLE FAMILY RESIDENTIAL DISTRICT
TYPICAL BUILDING SETBACK DETAIL
(EXCEPT AS NOTED ON PLAT)
NOT TO SCALE



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WISCONSIN DEPARTMENT OF TRANSPORTATION HIGHWAY NOTES PER PLAT OF BRISTOL BAY:

- 50' Highway Setback: No improvements or structures are allowed between the right-of-way line and the highway setback line. Improvements and structures include, but are not limited to, signs, parking areas, driveways, wells, septic systems, drainage facilities, buildings and retaining walls. It is expressly intended that this restriction is for the benefit of the public as provided in s. 236.293, Wisconsin Statutes, and shall be enforceable by the Wisconsin Department of Transportation or its assigns. Contact the Wisconsin Department of Transportation for more information. The phone number may be obtained by contacting the County Highway Department.
- All lots and blocks are hereby restricted so that no owner, possessor, user, licensee or other person may have any right of direct vehicular ingress from or egress to any highway lying within the right-of-way of S.T.H. "50" or U.S.H. "45", as shown on the land division map; it is expressly intended that this restriction constitute a restriction for the benefit of the public as provided in s. 236.293, Wisconsin Statutes and shall be enforceable by the department or its assigns. Any access shall be allowed only by special exception. Any access allowed by special exception shall be confirmed and granted only through the driveway permitting process and all permits are revocable.
- Highway Noise: The lots of this land division may experience noise at levels exceeding the levels in s. Trans 405.04, Table I. These levels are based on Federal standards. The Wisconsin Department of Transportation is not responsible for abating noise from existing state trunk highways or connecting highways, in the absence of any increase by the department to the highway's through-lane capacity.
- Vision Corner: No structure or improvement of any kind is permitted within the vision corner. No vegetation within the vision corner may exceed 30 inches in height. No access to any roadway shall be permitted over the vision corners from the adjacent lots.

BASEMENT RESTRICTION

Although the lots on this subdivision plat have been reviewed and approved for development with single-family residential use in accordance with Section 236 Wisconsin Statutes, they contain soil conditions that, due to the possible presence of groundwater near the surface, may require additional soil engineering and foundation design with regard to basement construction. It is recommended that either a licensed professional engineer or other soils expert design a basement and foundation which will be suitable to withstand the various problems associated with saturated soil conditions on basement walls or floors or that special measures be taken. Soil conditions should be subject to each owner's special investigation prior to construction and no specific representation is made herein.

ACCESSEASEMENT:

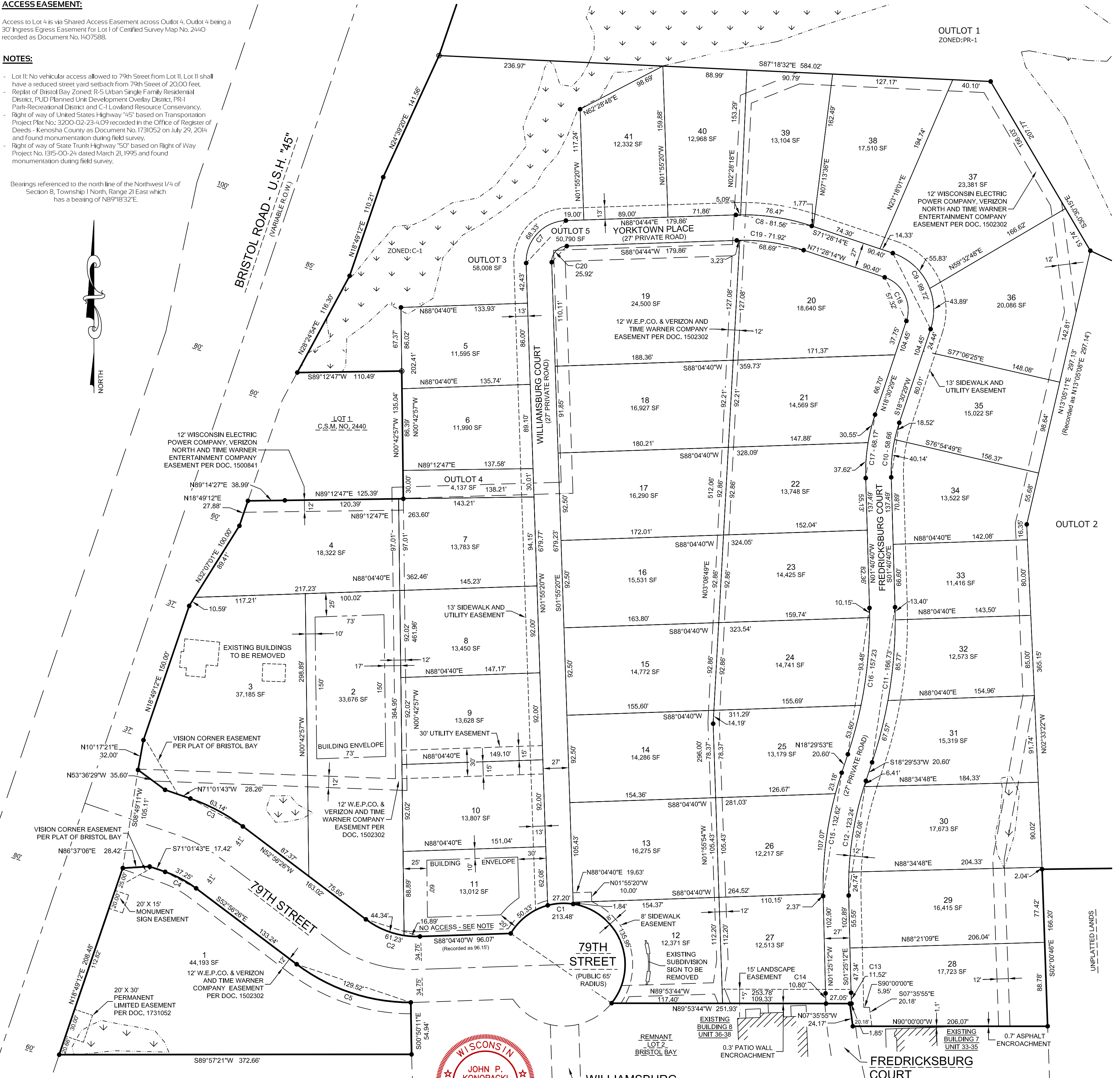
Access to Lot 4 is via Shared Access Easement across Outlot 4, Outlot 4 being a 30' Ingress Egress Easement for Lot 1 of Certified Survey Map No. 2440 recorded as Document No. 1407588.

NOTES:

- Lot 11: No vehicular access allowed to 79th Street from Lot 11. Lot 11 shall have a reduced street yard setback from 79th Street of 20.00 feet.
- Replat of Bristol Bay Zoned: R-5 Urban Single Family Residential District, PUD Planned Unit Development Overlay District, PR-1 Park-Recreational District and C-1 Lowland Resource Conservancy.
- Right of way of United States Highway "45" based on Transportation Project Plan No. 3200-C2-234-09 recorded in the Office of Register of Deeds - Kenosha County as Document No. 1731052 on July 29, 2014 and found monumentation during field survey.
- Right of way of State Trunk Highway "50" based on Right of Way Project No. 195-00-24 dated March 21, 1995 and found monumentation during field survey.

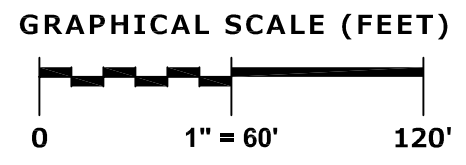
Bearings referenced to the north line of the Northwest 1/4 of Section 8, Township 1 North, Range 21 East which has a bearing of N89°18'32"E.

LOT DETAILS



- LEGEND:**
- - Denotes Found Iron Pipe (I.P.), outside diameter size indicated on plat.
 - - Denotes Found 1/2" Iron Rebar (I.R.), capped indicated on plat (C).
 - - Denotes Set 1-1/4" X 18" Iron Rebar, 4,30 LBS./FT.
 - All other Lot and Outlot corners monumented by 3/4" x 18" Iron Rebar with a minimum weight of 15 LBS./FT.
 - SF - Denotes lot areas to the nearest square foot.
- NOTES:**
- All measurements have been made to the nearest one-hundredth of a foot.
 - All angular measurements have been made to the nearest one-second.

This instrument drafted by John P. Konopacki, PLS License No. S-2461
PINNACLE ENGINEERING GROUP



There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20__



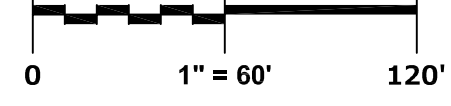
Department of Administration

REPLAT OF BRISTOL BAY

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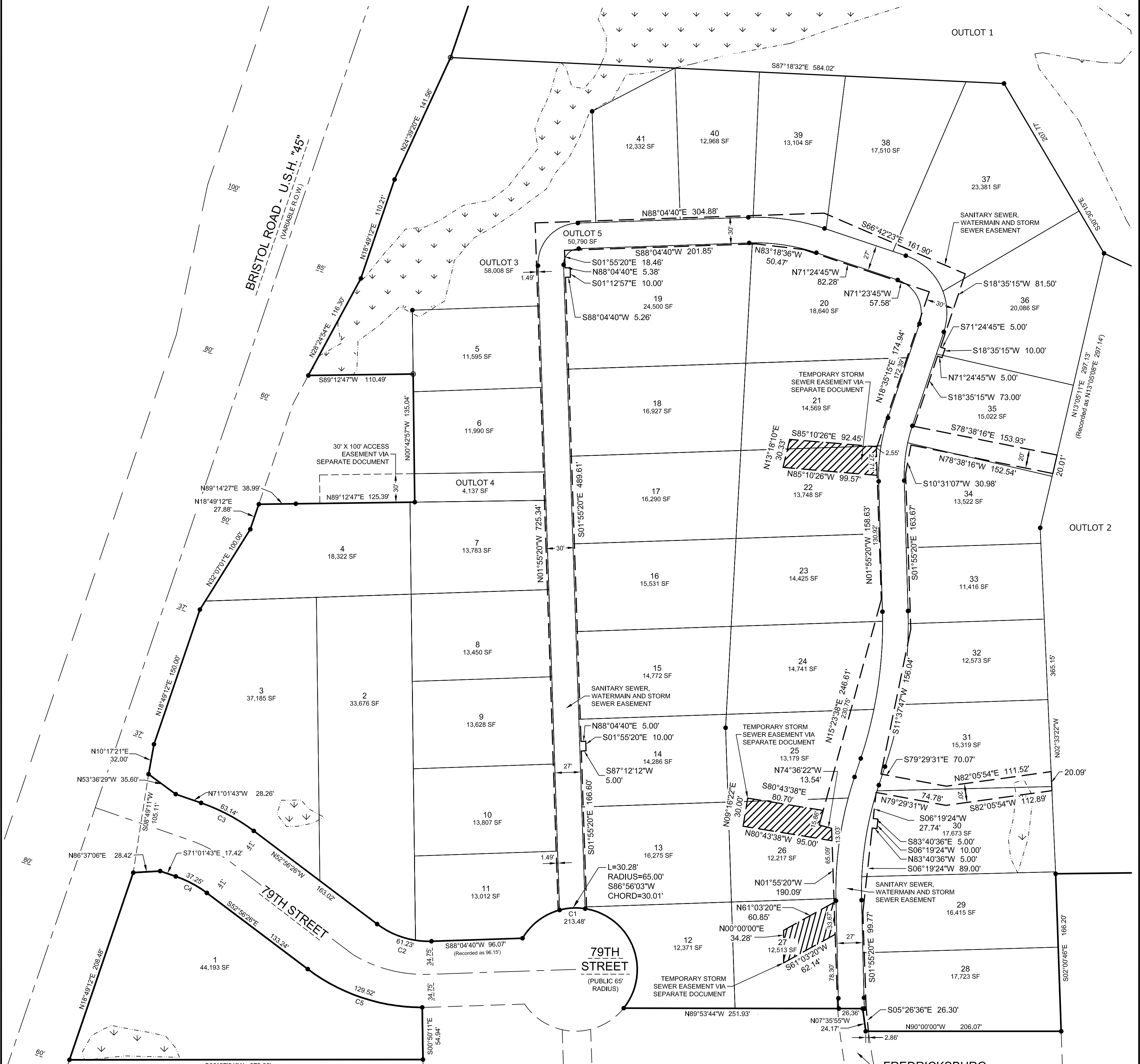


GRAPHICAL SCALE (FEET)



Bearings referenced to the north line of the Northwest 1/4 of Section 8, Township 1 North, Range 21 East which has a bearing of N89°18'32"E.

SANITARY SEWER, WATERMAIN AND STORM SEWER EASEMENT AND TEMPORARY STORM SEWER EASEMENT DETAIL



- LEGEND:**
- - Denotes Found Iron Pipe (IP), outside diameter size indicated on plat.
 - - Denotes Found 1/2" Iron Rebar (IR), capped indicated on plat (C).
 - - Denotes Set 1/4" x 18" Iron Rebar, 4.30 LBS./FT.
 - - All other Lot and Outlot corners monumented by 3/4" x 18" iron Rebar with a minimum weight of 15 LBS./FT.
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There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20__

Department of Administration



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